 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	21 March 2018
	REPORT OF:	HEAD OF PLACES & PLANNING
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AGENDA ITEM:	6	WARD: <i>Kingswood with Burgh Heath</i>

APPLICATION NUMBER:	17/02662/F	VALID:	15/11/2017
APPLICANT:	Kingsglade LLP	AGENT:	Brookes Architects Ltd
LOCATION:	FAIRLAWN, THE GLADE, KINGSWOOD, SURREY		
DESCRIPTION:	Demolition of an existing house and construction of a new building containing seven flats and a basement car park.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution

SUMMARY

The application relates to a site on the south side of The Glade which is characterised by a residential neighbourhood of substantial detached properties of traditional styles standing in spacious grounds, within The Warren and The Glade Residential Area of Special Character (RASC). The existing house is a fine and attractive example although it is not locally listed and sits outside the adjacent Kingswood Conservation Area meaning, whilst lamentable; its retention cannot be required.

The proposal is for a building of traditional design accommodating 7 two bedroom flats, following the unsuccessful application for a block containing 10 flats (16/01797/F) and, commensurate with this lesser number of units, is lesser in scale more akin to existing properties in the neighbourhood. The proposed flat block sits more comfortably within its plot, well away from the site's boundaries and with first floor flank windows to be obscured glazed in the interests of preserving the privacy of adjoining dwellings. Car parking is largely furnished and spaciouly provided at basement level. The site is well screened by trees, the more significant of which, as well as hedges, would be retained in the scheme. This vegetation would be enhanced by additional planting.

Despite the existing building not being listed and being outside the Conservation Area, efforts have been made with the replacement to replicate some of the more attractive features of the existing such as its proportions, splayed eaves and

materials palette including tile hanging and timber boarding. The proposal, by virtue of its scale, appearance and siting, would therefore be in harmony with the neighbourhood and would respect the setting of the nearby Kingswood Conservation Area, more-so than some other recent examples of new development in the locality.

There can be no in-principle objection to flats even within the Residential Area of Special Character. Instead the assessment under Policy Ho15 of the Borough Local Plan is primarily character-based and, as explained, the loss of the existing building cannot be resisted, the replacement is well-designed with undercroft parking so as to appear in keeping with the domestic residences in the locality with the added benefit of good boundary screening to help ensure the sylvan appearance is maintained.

The building would project beyond the main rear walls of the neighbouring properties to either side but any perceived adverse effect on amenity from this would be diluted because of separation distances and tree screening. The obscured glazed first floor flank windows would also mitigate the potential for overlooking. Hence the proposal would be acceptable in its neighbour impact.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: the site is served by a private road which is outside the Highway Authority's jurisdiction .

Kingswood Residents' Association: objects (both original and amended plans) on grounds of more intensive use of land, out of character with development in the locality.

RBBC Conservation Officer: *The proposal is situated in the RASC and close to the Conservation Area (within 2 properties distance) so impacts on its setting and approach. The area is characterised by landscape dominated plots.*

In terms of the Conservation Area setting, the preference would be retention of the existing house but as the house lies outside the Conservation Area and is not listed, this cannot be insisted on. The tenure of the property, as to whether it is flats or a house, also lie outside the design considerations in terms of the Conservation Area or local distinctiveness. Therefore my consideration are the appearance of the building in terms of impact on the approach to the Conservation Area and aesthetic appearance in terms of local distinctiveness.

The proposal has followed to a degree the design of the existing house, with subservient side wings and articulation to the side elevations. Whilst the ramp and side elevations are not ideal, there would appear to be sufficient landscape screen for the design to meet the criteria in terms of the setting of the Conservation Area and local distinctiveness. I consider that a curve in the drive would assist in reducing the view of the ramp entrance from the road. The shrubbery to the front boundary would need protection, in addition to the trees identified in the arboricultural assessment and I have suggested a condition in this regard. The depth of the footprint is greater than neighbouring building but this would be a RASC assessment.

If you are minded to approve this application I would recommend the following conditions (materials).

Representations:

Letters were sent to neighbouring properties on 27 November 2017 and a site notice was posted 30 November 2017, regarding the original proposal. Letters regarding the amended proposal were sent 15 February 2018.

66 responses (to the original proposal) and 76 (to the amended proposal) and a letter from a planning consultant on behalf of 9 properties (original and amended proposals) have been received raising the following issues:

Issue	Response
Inadequate parking	See paragraphs 6.8
No need for the development	Consideration on merits

Noise & disturbance	See paragraph 6.7
Inconvenience during construction	See paragraph 6.7
Overdevelopment	See paragraphs 6.3 & 6.4
Increase in traffic and congestion	See paragraph 6.9
Out of character with locality	See paragraphs 6.3 & 6.4
Hazard to highway safety	Hazard to highway safety
Conflict with covenant	Not a planning consideration
Crime Fears	Site capable of surveillance
Harm to wildlife habitat	No wildlife designation
Loss of/harm to trees	See paragraph 6.5
Overbearing effect	See paragraph 6.7
Harm to Conservation Area	Outside conservation area but setting assessed paras 6.3 – 6.5
Harm to Green Belt	Not in Green Belt
Overlooking and Loss of privacy	See paragraph 6.7
Property devaluation	Not a planning consideration
Drainage/sewage capacity	Not a planning consideration
Loss of buildings	Loss of building cannot be resisted if not listed or outside Conservation Area
Loss of private view	Not a planning consideration
Health fears	No likely health impacts
Poor design	See paragraph 6.3

1.0 Site and Character Appraisal

- 1.1 The application site, consists of a detached property Fairlawn, on the south side of The Glade, within The Warren and The Glade Residential Area of Special Character (RASC). The existing building is a fine and attractive example which contributes positively to the character of the area.
- 1.2 Both vehicular and pedestrian entry are via a drive off The Glade which is a private road. The site is regular in shape, measuring roughly 112m long by 48.1m wide at the road side and has an area of approximately 0.512 hectare (1.2 acre). It slopes slightly up towards the rear boundary.
- 1.3 Fairlawn is a large two and a half storey family house. The ground floor is red brick, whilst the first floor and gables are half timbered. The roof is finished with clay plain tiles and the windows have multiple glazing bars. The garden

is mature with a number of trees and includes a gravel drive and detached garage. The front boundary is heavily planted.

- 1.4 The rear part has been the subject of a number of applications that have been unsuccessful and is included in the present application site.
- 1.5 The street scene is characterised by substantial frontage detached houses standing on spacious plots adorned by a high level of mature landscaping.
- 1.6 Approximately 50m to the west of the site is Kingswood Conservation Area with a distinct group of "Arts and Crafts" buildings in an arcadian setting. Moving east along The Glade the frontages become more open with less forest trees. The houses are of mixed ages and more eclectic although some have an "arts and crafts" flavour. The Conservation Area was designated on 10 June 2009.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: given the existing building is already larger than the neighbours, from a scale and massing point of view the eaves would need to be lowered to the existing height and the gable reduced to the same size as the existing gable and lowered to the existing eaves height.
- 2.2 Improvements secured during the course of the application: changes to fenestration, dormer to front elevation; existing trees on the site have been highlighted on the site plan; drawing showing existing and proposed trees diagrammatically; dimensions added to the basement car park drawing and a diagram included showing standard car space setting out with proposed spaces longer, wider and with more space between than is standard; first floor windows on the side elevations have been decreased in size and shown as opaque up to 1.63m above floor level; dormers on the side elevations omitted and replaced with high level roof lights; rear context elevation added, showing existing and proposed trees on the site boundary.
- 2.3 Further improvements could be secured: by conditions relating to landscaping, materials and detailing.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|--------------|---|---|
| 3.1 | 16/01797/F | Building containing 10 flats and basement car park | Refused
3 March 2017 |
| 3.2 | 12/02213/F | Retention of a 2.4m high hoarding across the front of the site. | Refused
21 March 2013 |
| 3.3 | 12/01025/OUT | The construction of a single family house | Refused
31 st August 2012
Appeal Dismissed |

- | | | | |
|-----|------------|--|---|
| 3.4 | 10/01967/F | Construction of a three bedroom single family house and access drive | Refused
30 th December 2010
Appeal Dismissed |
|-----|------------|--|---|

4.0 Proposal and Design Approach

- 4.1 This full application would involve re-joining the front and rear plots referred to above and seeks permission for redevelopment of Fairlawn consisting of a new two storey building of 7 flats arranged over ground, first and second floors with parking for 19 cars including 15 in the basement and two disabled spaces. The proposed building is of an "Arts and Crafts" style. External materials include unspecified brick to the ground floor and timber framing with render elements between and hanging tiles to the upper storey. The application follows the refusal of application no. 16/01797/F for erection of a block of ten flats and, in comparison with that, is reduced in number of flats, dimensions and scale and the applicant has attempted to overcome the shortcomings of the unsuccessful proposal expressed in the refusal reasons, namely "excessive bulk, scale, and massing...out of keeping with and harmful to the character and appearance of the locality" and "...relatively cramped form of development in the locality which is designated also as a Residential Area of Special Character."
- 4.2 The applicant explains that the building has been designed to look like a large single house typical of the locality, with overall height lower than the existing house and eaves at same level. The front elevation features a central projecting gabled bay and further smaller gables. The rear elevation also has a gabled bay. Both side elevations include a recessed central section with elements to the front and rear finished with hipped roofs.
- 4.3 The scheme incorporates retention and enhancement of existing mature planting to front, side and rear boundaries and communal gardens. The application is accompanied by an Arboricultural Impact Analysis and Method Statement which concludes that the development would not have impact on existing on-site trees of value.
- 4.4 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.5 Evidence of the applicant's design approach is set out below:

Assessment	The character of the surrounding area is assessed as predominantly residential, within the Kingswood Warren Residential Area of Special character, Kingswood Conservation Area adjoining to the west. The Glade and The Chase are characterised by medium to large plots set back from the road, many behind tall hedges, walls or railings and of a variety of styles and ages with no distinctive or consistent design.
	No site features worthy of retention were identified.
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	The applicant's reasons for choosing the proposal from the available options was to seek approval of development on land in the applicant's ownership.

4.6 Further details of the development are as follows:

Site area	5.12ha
Proposed parking spaces	19
Parking standard	7+ (recommended maximum)
Net increase in dwellings	6
Existing site density	0.2dph
Proposed site density	1.4dph
Density of the surrounding area	2.7dph (extent of coverage of site location plan)

5.0 Policy Context

5.1 Designation

Urban area

The Warren and The Glade Residential Area of Special Character (RASC)

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS2 (Valued Landscapes and Natural Environment)
CS4 (Valued Townscapes and Historic Environment)

5.3 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation Pc4
Housing Ho9, Ho13, Ho16

Movement

Mo5

5.4 Other Material Considerations

National Planning Policy Framework

National Planning Practice Guidance

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

A Parking Strategy for Surrey

Parking Standards for Development

Planning Obligations and

Infrastructure SPD

Other

Human Rights Act 1998

6.0 Assessment

6.1 The site is within the urban area in a residential neighbourhood, where in principle there would be no objection to residential development, flat blocks included. However this must be tempered with how effectively the proposed development reflects the character of its surroundings and is sensitive to local amenities

6.2 The main issues to consider are:

- Design appraisal (including impact on trees)
- Neighbour amenity
- Access and parking
- CIL
- Affordable Housing

Design

6.3 The existing building is a fine and attractive example whose loss is lamentable but, not being listed and being outside the Conservation Area, cannot be resisted. However, its siting close to the Conservation Area does ensure that any replacement should be of sufficient high quality so as to preserve its setting. With this in mind it is considered that the scale, massing, traditional design and site coverage of the proposed flat block are compatible with existing development in the neighbourhood. In the Design Statement included with the application, the applicant points out that, in comparison to the previous application, the building's width has been reduced from 29.4m to 24m; depth from 22.5m to 19.6m; flat number from 10 to 7; basement car park reduced in size (but with generous proportioned spaces); all balconies removed; number of windows on the side elevations reduced; and number and size of dormers reduced.

The proposal has implications for the setting of the nearby Kingswood Conservation Area and the Council's Conservation Officer has proffered the following comments on the appearance of the building in terms of impact on the approach to the Conservation Area and aesthetic appearance in terms of local distinctiveness, as well as suggesting a detailed external materials/finishes condition.

The Conservation opines that "...The proposal has followed to a degree the design of the existing house, with subservient side wings and articulation to the side elevations. Whilst the ramp and side elevations are not ideal, there would appear to be sufficient landscape screen for the design to meet the criteria in terms of the setting of the Conservation Area and local distinctiveness. I consider that a curve in the drive would assist in reducing the view of the ramp entrance from the road. The shrubbery to the front boundary would need protection, in addition to the trees identified in the arboricultural assessment and I have suggested a condition in this regard. The depth of the footprint is greater than neighbouring building but this would be a RASC assessment..."

6.4 These observations are endorsed as regards the particular impact of the proposal on the Conservation Area's setting which on balance is acceptable. The incorporation of curvature to the access drive has been explored but is difficult to achieve without arboricultural impacts and is not considered to result in any significant harm. The proposal's scale, position and appearance accord with the rhythm of existing development and the building's comparatively greater depth would be somewhat masked and would not unduly detract from its positive qualities or the contribution it makes to the street scene. The building's greater depth than the houses to either side is temporised by separation distances and screening afforded by boundary vegetation, existing and proposed. The proposal is thereby considered to conform well to the character of the RASC and accord with Policy Ho15 of the Borough Local Plan. The RASC is characterised by large dwellings in spacious, landscaped plots and the proposal is considered to succeed in responding to this character, better in some ways than other developments built in the locality. There is no presumption against flatted developments within the RASC or relevant polices, which primarily focus on character and in this regard, with undercroft parking, the proposed development would largely appear as a grand single residence.

6.5 The application includes an Arboricultural Implications Assessment and Method Statement which states that the proposal requires the removal of nine individual trees and four small groups, all BS Category C (low quality and value). Existing planting to all boundaries and hedges would be retained. The Council's Tree Officer's views have been sought. Whilst he would expect the tree survey data, over a year old, to be more up to date the Tree Officer opines that the proposal would result in the loss of low grade trees along the eastern boundary only, with the only protected tree (RE1376) not affected nor the protected trees in the neighbouring property, Oakshadows. The arboricultural report also includes a detailed arboricultural method statement which provides sufficient information for the remaining trees to be protected

during the course of the development. Therefore the Tree Officer has no objection subject to conditions relating to landscaping and tree protection measures being attached to any permission.

Neighbour amenity

- 6.6 The properties most directly affected by the proposal are Oakshadows to the west and Stourton to the east. These are buildings of a substantial size but standing comfortably in their spacious plots and, like the existing dwelling Fairlawn, "informally" arranged thereon so as not be centrally placed. The proposed building would sit comfortably on its plot with space about it comparable to its neighbours and hence "at ease" with them. For instance the separation distances from the western and eastern boundaries, some 11m and approximately 10m respectively, would certainly be a factor along with comparable height, massing and positioning on the plot, contributing to this perception. The location of this application site is within a Residential Area of Special Character (RASC) where the high level of privacy and residential amenity associated with these areas is recognised and protected in Policy Ho15 (vi). The balconies featuring in the previous application have been removed and obscured glazing would be inserted in the first floor flank windows, respecting the privacy and amenity of both neighbouring properties. The living conditions of other dwellings in the vicinity would not be materially affected by the proposal because of the separation distances involved.
- 6.7 Local concerns have been expressed about noise, disturbance and inconvenience arising from building operations for this development. Comings and goings of construction vehicles and general construction activities, whilst giving potential for annoyance, are a temporary aberration only. Other matters, such as drain/sewer capacity, covenants, property devaluation are not planning considerations that can have any bearing on the assessment of the planning application.

Access and parking

- 6.8 There is a modified access to the site from a private road. The Highway Authority in these circumstances has no jurisdiction and hence has no comment to make. It is not considered that the traffic generated by the development would result in any significant impact on the free flow of traffic in the vicinity or exacerbate traffic hazards and the site visibility along the road is considered to be acceptable. Within the site 19 car parking spaces, 15 in the basement (the rest in the grounds to the north of the building), would be provided: the number of spaces is more than the Highway Authority's standard but that is a recommended maximum. This is considered acceptable given the more away from maximum standards within national and emerging policy and the specific circumstances of the application.

CIL

- 6.9 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise

money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact amount would be determined and collected after the grant of planning permission.

Affordable Housing

- 6.10 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016.
- 6.11 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less. The absence of an agreed undertaking does not therefore warrant a reason for refusal in this case.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason:
To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Site Location Plan	4796 3 110		16.11.2017
Exg GF Site Plan	4796 2 51		16.11.2017
Exg Floor Plans	4796 2 52		16.11.2017
Exg Elevations	4796 2 53		16.11.2017
Proposed Site Plan	4796 3 120	C	05.02.2018
Prop Bst/GF Plans	4796 3 121	B	05.02.2018
Prop 1/2FL/Roof Plans	4796 3 122	B	05.02.2018
Prop Elevations	4796 3 123	B	05.02.2018
Exg/Prop Street Elevns	4796 3 126	B	05.02.2018
Prop Street/Rear	4796 3 128	A	
Site Sections	4796 3 129	A	2018

Site Cross Section	4796 3 134	A	2018
Landscape Diagram	4796 3 135		05.02.2018

Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. Notwithstanding the drawings, the development hereby permitted shall be carried out using the external facing materials and details specified below and there shall be no variation thereof without the prior approval in writing of the Local Planning Authority.
- a) All tiles and tile hanging shall be of handmade sandfaced plain clay tiles with bonnet tiles to hips. The tile hanging shall be of a lighter colour than the roof tiles. The eaves shall be sprocketed to match existing. The dormer cheeks shall be tile hung.
 - b) All external joinery shall be of painted timber with architraved bargeboards.
 - c) All fascias shall be of no more than 15cm depth and dormers eaves shall be without gutter fascias.
 - d) All timber framing shall be of black stained oak with pegged joints.
 - e) All casement windows shall be of painted timber with casements in each opening and external glazing bars of traditional profile.
 - f) All brickwork shall be of handmade sandfaced multistock brick with gauged brick arches to all windows within brickwork.
 - g) All rainwater goods shall be of black painted cast metal or cast metal profile.
 - h) All footpaths and drives shall be of fixed gravel.
 - i) The existing shrubbery belt adjacent to the front highway boundary shall be retained (except for the front drive and footpath) on an ongoing basis and managed to maintain a minimum height of at least 3 metres and minimum width of at least 3 metres hereafter or as otherwise agreed in writing by the local planning authority. Any losses through death or disease shall be remedied by replacement planting, to current landscape standards, within 1 year to maintain this feature.
 - j) All rooflights shall be black painted metal conservation rooflights with a single vertical glazing bar of traditional profile.

Reason:

To ensure that a satisfactory external appearance is achieved with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13 and Ho15.

4. No development shall take place until written details of the materials to be used in the construction of the bin store have been submitted to and approved in writing by the Local Planning Authority, and the development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13 and Ho15.

5. The first floor windows in the flank elevations of the development hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level, and shall be maintained as such at all times.

Reason:

To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

6. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking / turning areas shall be retained and maintained for their designated purposes.

Reason:

in order that the development should not prejudice highway safety nor cause inconvenience to other highway users to meet the objectives of the National Planning Policy Framework and having regard to policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005.

7. No development shall commence until a Construction Transport Management Plan, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (f) HGV deliveries and hours of operation
 - (g) measures to prevent the deposit of materials on the highway
 - (h) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
 - (i) on-site turning for construction vehicles
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:

in order that the development should not prejudice highway safety nor cause inconvenience to other highway users to meet the objectives of the National Planning Policy Framework and having regard to policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005.

8. No development shall commence including groundworks preparation and demolition until all related arboricultural matters, including arboricultural supervision, monitoring and tree protection measures are implemented in strict accordance with the approved details contained in the Tree Protection Plan and Arboricultural Method Statement compiled by Broad Oak Tree Consultancy, reference J53.25 dated 10th November 2017 October.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with policy Pc4 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837.

9. No development shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the local planning authority (LPA). Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or within the first planting season following completion of the development hereby approved.

Any trees, shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees/shrubs of the same size and species.

Reason:

To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4, Pc13, Ho9 and Ho15 of the Reigate and Banstead Borough Local Plan 2005.

10. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment, including the removal of the existing fencing sub-dividing the site, shall be completed before the occupation of the development hereby permitted.

Reason:

To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Pc4.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.

3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, a 140 litre wheeled bin conforming to British Standard BSEN840 and a 60 litre recycling box should be provided for the exclusive use of the occupants of that dwelling. Prior to the initial occupation of any communal dwellings or flats, wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at www.reigate-banstead.gov.uk. Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

5. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone

response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

6. The use of a suitably qualified arboricultural consultant is essential to provide acceptable supervision and monitoring in respect of the arboricultural issues in respect of the above condition. All works shall comply with the recommendations and guidelines contained within British Standard 5837.
7. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality. There is an opportunity to incorporate substantial sized trees into the scheme to provide for future amenity and long term continued structural tree cover in this area. It is expected that the replacement structural landscape trees will be of Extra Heavy Standard size with initial planting heights of not less than 4m, with girth measurements at 1m above ground level in excess of 14/16cm.

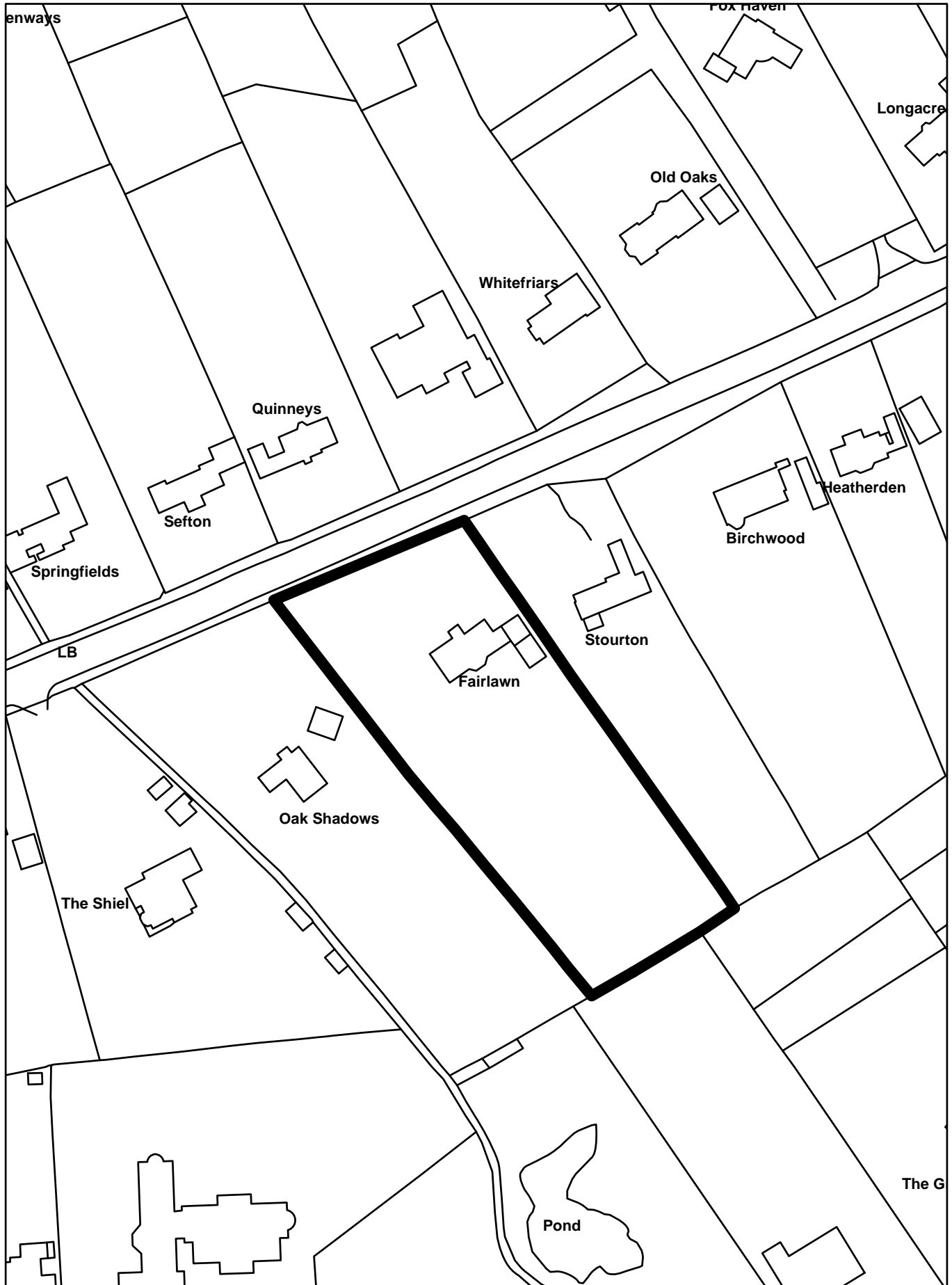
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS2, CS4, CS10, CS11, CS12, CS14, CS15, Pc4, Ho9, Ho9A, Ho13, Ho15, Mo5 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statement

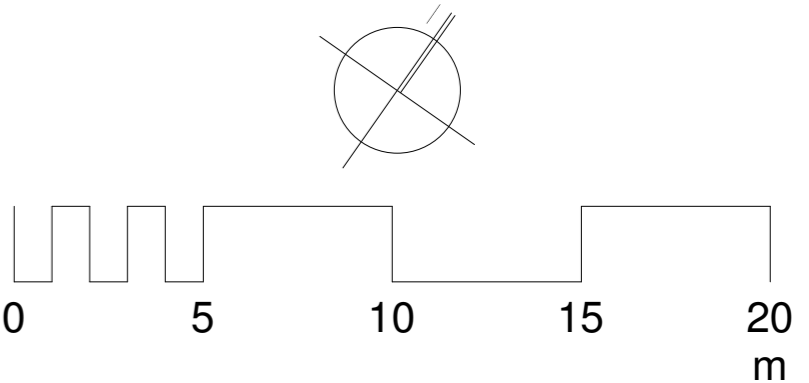
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

17/02662/F - Fairlawn, The Glade, Kingswood





Note. Hornbeam trees to be in new planting
 --- Existing trees to be retained
 - - - Existing House



PLANNING

Rev	Description	Issued	Dwn	Chk
C	Existing landscaping identified	22.01.18	RM	
B	Front gate location adjusted to tree consultant comments	25.10.17	RM	
A	Gable walls reduced and eaves lowered to be in line with existing house	10.10.17	RM	

Client
 Kingsglade LLP
 Project
 Fairlawn
 The Glade, Kingswood
 KT20 6LL

Drawing
 Proposed Site Plan

Scale	Date	Drawn	Checked
1 : 200@A1	Jul '17	RM	IF

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1 Ground Floor Site Plan
 1 : 200

4796	3	120	Rev. No. C
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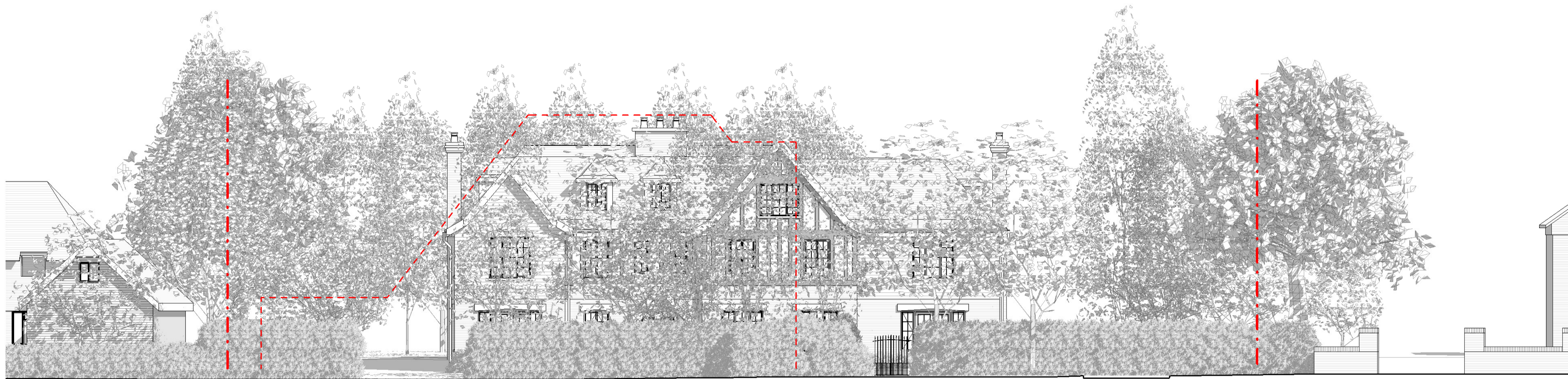
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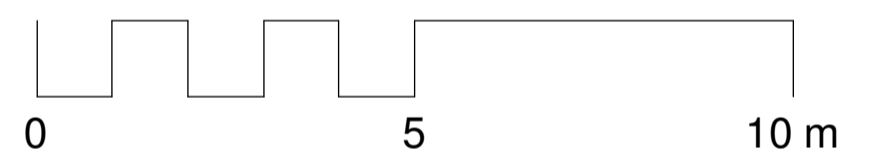
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1 Proposed Street Elevation (with boundary conditions)
 1 : 100

--- Site boundary
 - - - Existing house



PLANNING

Rev	Description	Issued	Dwn	Chk

Client
 Kingsglade LLP

Project
 Fairlawn
 The Glade, Kingswood
 KT20 6LL

Drawing
 Proposed Street Elevation

Scale	Date	Drawn	Checked
1 : 100@A1	Nov '17	RM	IF

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4796	3	128	Rev. No.
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1 Existing Long Site Section
1 : 200



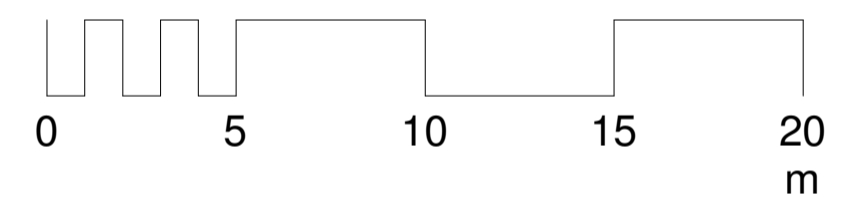
2 Proposed Long Site Section
1 : 200



3 Existing Short Section
1 : 200



4 Proposed Short Section
1 : 200



PLANNING

Rev	Description	Issued	Dwn	Chk
A	Side facing dormers removed and roof lights added	22.01.18	RM	

Client
Kingsglade LLP

Project
Fairlawn
The Glade, Kingswood
KT20 6LL

Drawing
Site Sections

Scale	Date	Drawn	Checked
1 : 200@A1	May '17	RM	IF

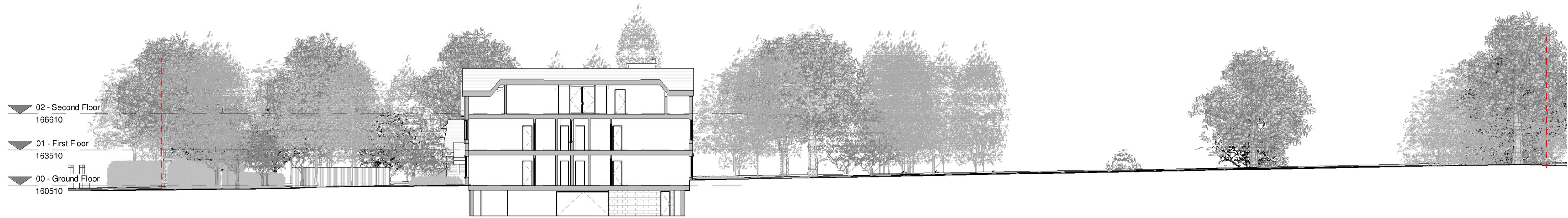
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Rev. No.			
4796	3	129	A



1 Existing Long Site Section
1 : 200



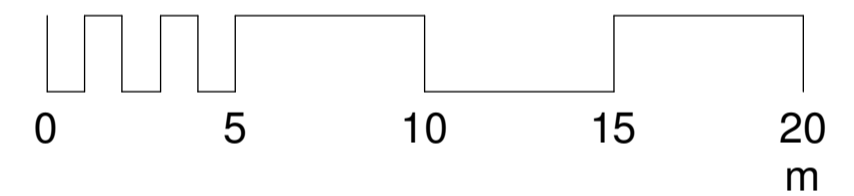
2 Proposed Long Site Section
1 : 200



3 Existing Short Section
1 : 200



4 Proposed Short Section
1 : 200



PLANNING

Rev	Description	Issued	Dwn	Chk

Client
Kingsglade LLP

Project
**Fairlawn
The Glade, Kingswood
KT20 6LL**

Site Sections

Scale	Date	Drawn	Checked
1 : 200@A1	May '17	RM	IF

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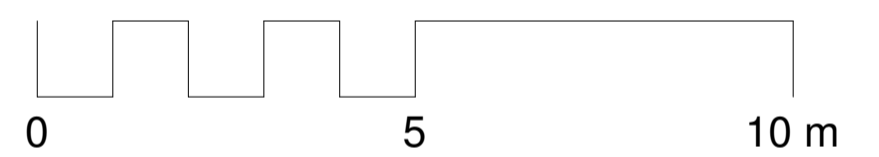
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4796	3	129	Rev. No.
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3 Existing Street Elevation
1 : 100

--- Site boundary
--- Existing house



PLANNING

Rev	Description	Issued	Dwn	Chk
B	Front facing dormer introduced	22.01.18	RM	
A	Gable walls reduced and eaves lowered to be in line with existing house	10.10.17	RM	

Client
Kingsglade LLP

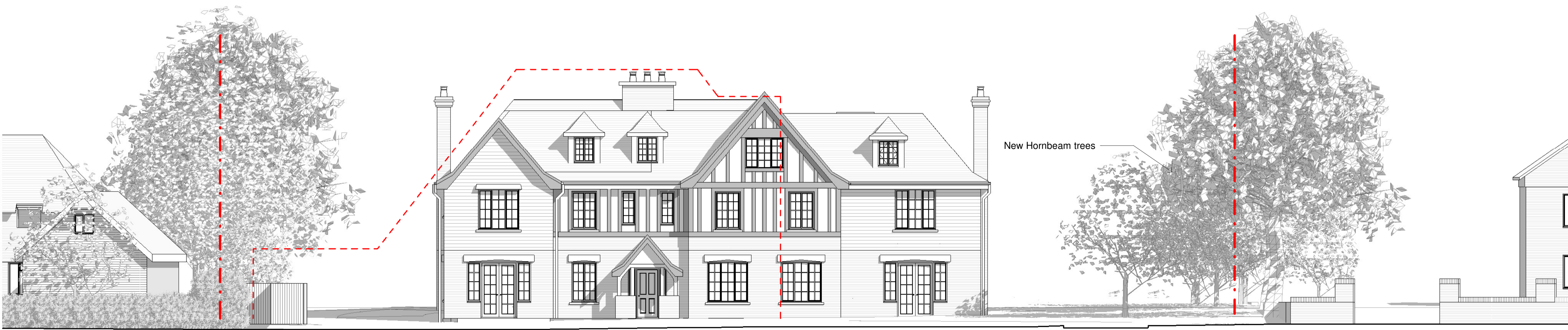
Project
Fairlawn
The Glade, Kingswood
KT20 6LL

Drawing
Existing and Proposed
Street Elevation

Scale	Date	Drawn	Checked
1 : 100@A1	Sept '17	RM	IF

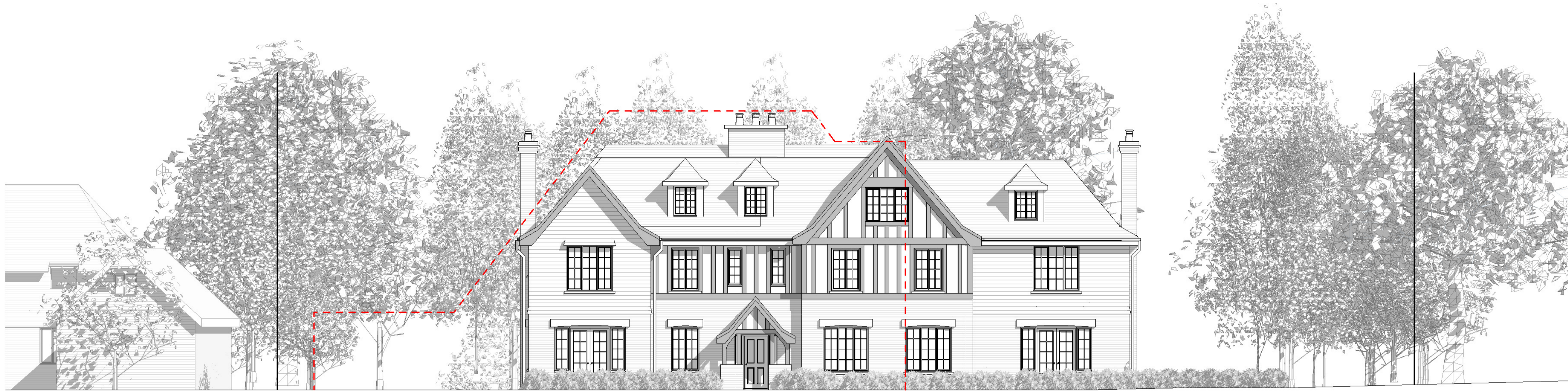
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1 Proposed Street Elevation
1 : 100

4796	3	126	B
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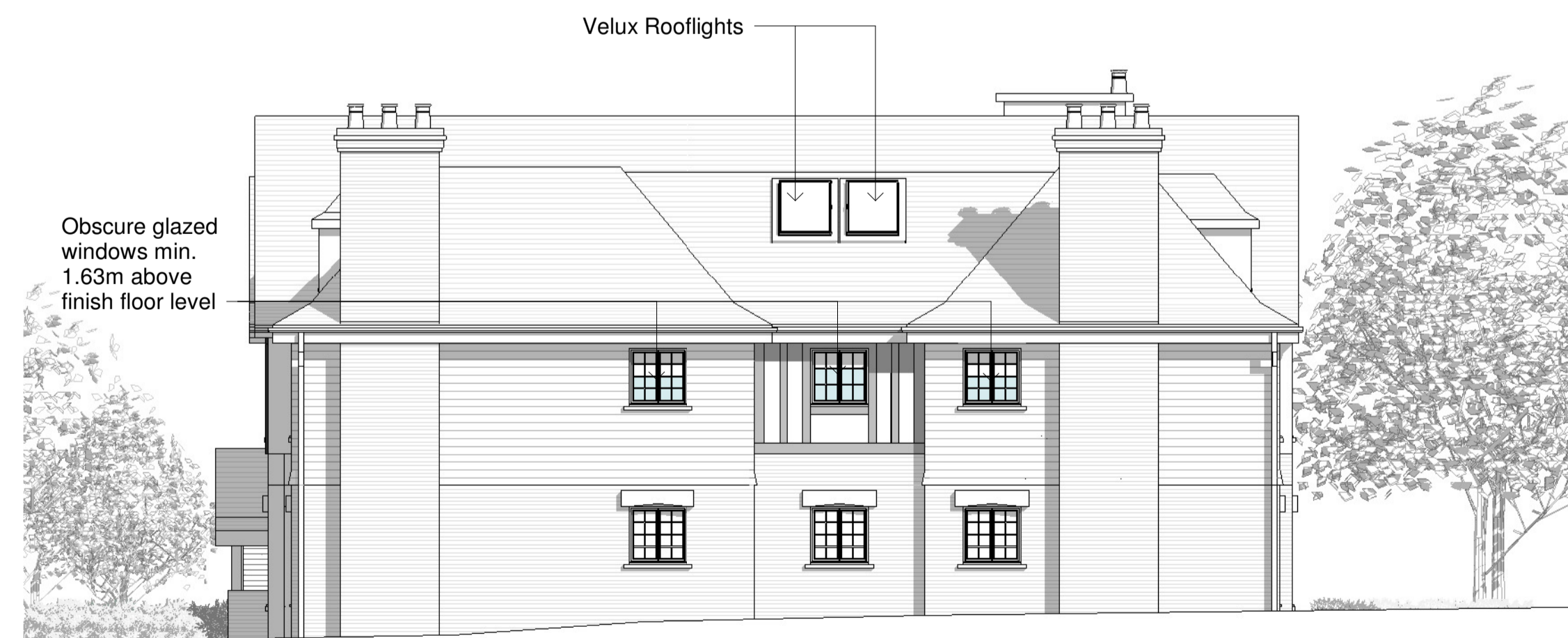
1 Front Elevation
1 : 100



2 Rear Elevation
1 : 100

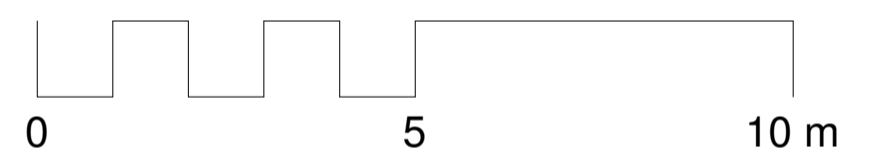


3 Flank Elevation 1
1 : 100



4 Flank Elevation 2
1 : 100

--- Existing House



PLANNING

Rev	Description	Issued	Dwn	Chk
B	Side facing dormers removed and roof lights added and first floor windows reduced in size	22.01.18	RM	
A	Gable walls reduced and eaves lowered to be in line with existing house	10.10.17	RM	

Client
Kingsglade LLP

Project
**Fairlawn
The Glade, Kingswood
KT20 6LL**

Proposed Elevations

Scale	Date	Drawn	Checked
1 : 100@A1	Jul '17	RM	IF

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4796	3	123	B
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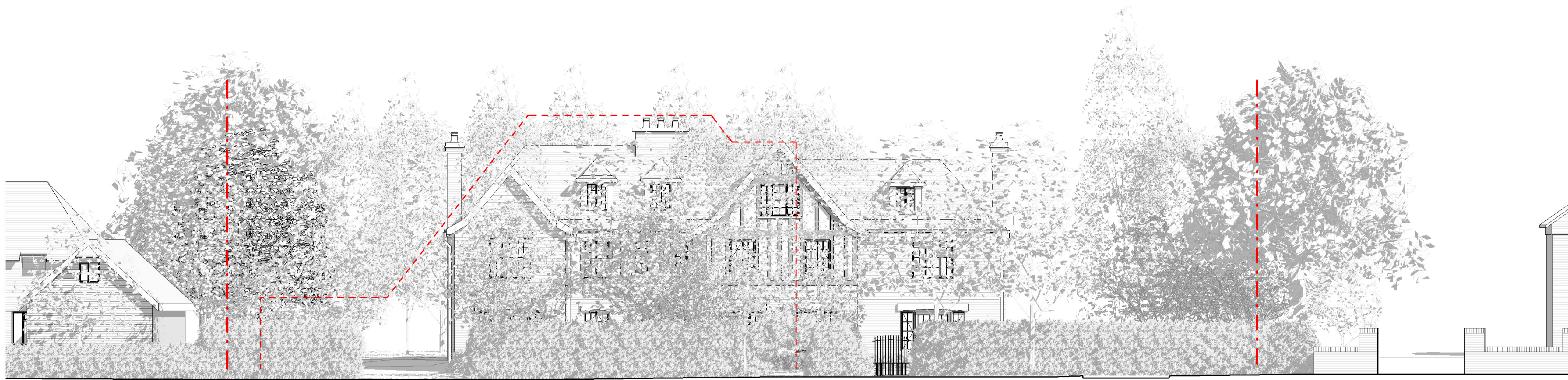
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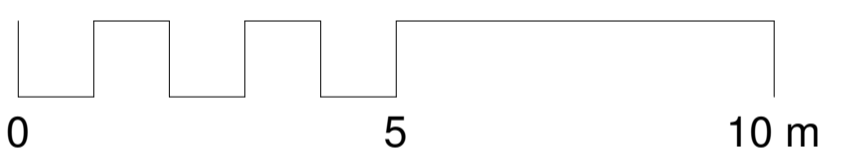
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1 Proposed Street Elevation (with boundary conditions)
 1 : 100

- Existing landscaping
- Proposed landscaping
- - - Site boundary
- - - - - Existing house



PLANNING

Rev	Description	Date	Issued	Drawn	Checked
A	Front facing dormer introduced	22.01.18		RM	

Client
 Kingsglade LLP
 Project
 Fairlawn
 The Glade, Kingswood
 KT20 6LL

Proposed Street and Rear Context Elevations

Scale	Date	Drawn	Checked
1 : 100@A1	Nov '17	RM	IF

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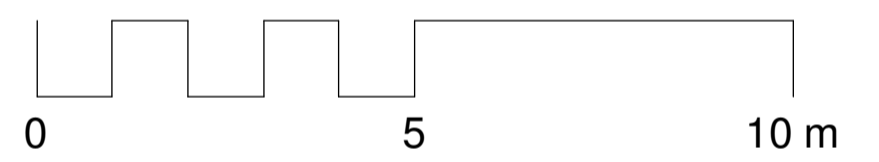
2 Rear Context Elevation
 1 : 100





3 Existing Street Elevation
1 : 100

--- Site boundary
--- Existing house



PLANNING

Rev	Description	Issued	Dwn	Chk
A	Gable walls reduced and eaves lowered to be in line with existing house	10.10.17	RM	

Client
Kingsglade LLP

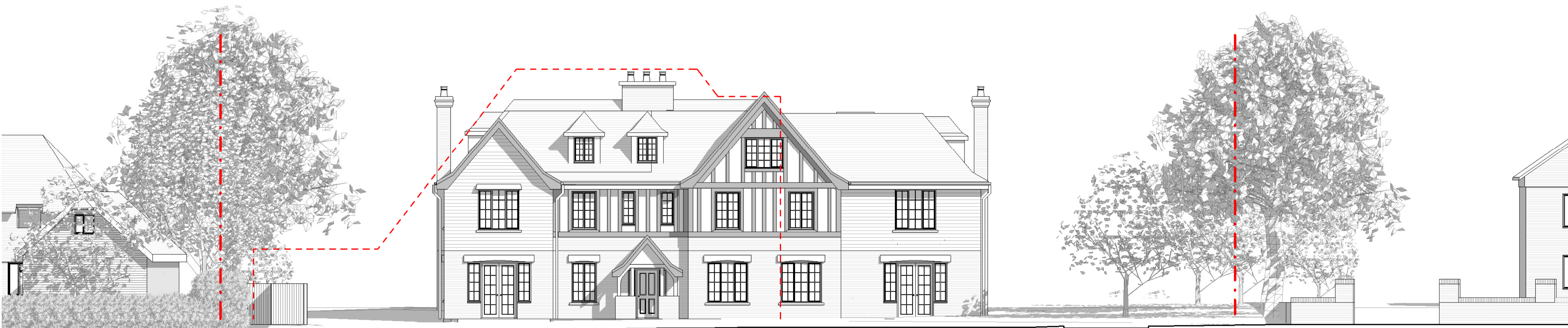
Project
**Fairlawn
The Glade, Kingswood
KT20 6LL**

Drawing
**Existing and Proposed
Street Elevation**

Scale	Date	Drawn	Checked
1 : 100@A1	Sept '17	RM	IF

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1 Proposed Street Elevation
1 : 100

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4796	3	126	A

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1 Site Cross Section
1 : 100

- - - Site boundary
— Existing landscaping
— Proposed landscaping



Existing screening provides ample privacy. The proposal will retain this and will add additional screening.

Existing house

Existing screening on the south west boundary, proposal will add planting similar to that found on the north east boundary to increase privacy and reduce overlooking



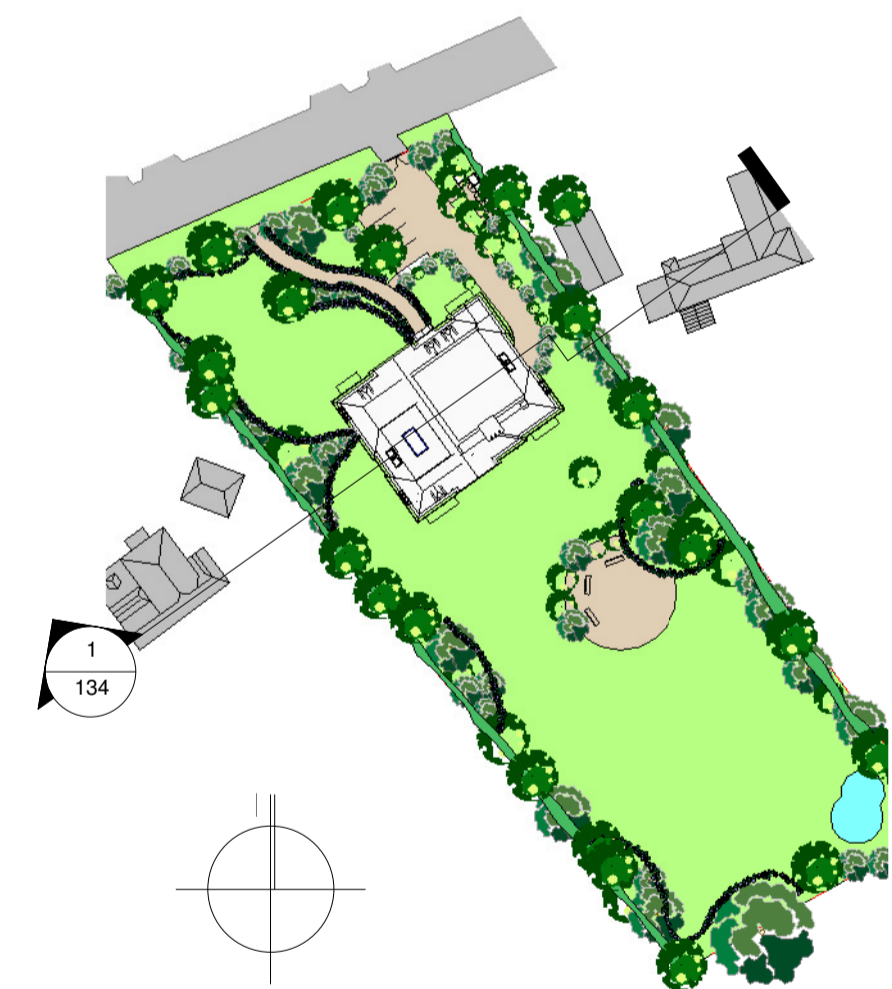
South west boundary

Screening located in the neighbouring property. Proposal will increase screening by planting along site boundary



North east boundary

North east boundary heavily planted



2 Cross Section Key
1 : 1000

PLANNING

Rev	Description	Date	Drawn	Checked
A	Views from flat windows identified	22.01.18	RM	

Client
Kingsglade LLP

Project
Fairlawn
The Glade, Kingswood
KT20 6LL

Drawing
Site Cross Section

Scale	Date	Drawn	Checked
Various@A1	Jan '18	RM	IF

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4796	3	134	A
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